

INTENT of CODE

The Downtown Auburn/New Auburn Form-Based Code is designed to foster a vibrant and highly-valued downtown and riverfront district, including great traditional mercantile streets, remarkable civic spaces, a compelling evening scene, and appealing urban neighborhoods; all contained within a walkable and human-scale built environment. A lively mix of uses with shopfronts, sidewalk cafes, world-class public art & sculpture, and additional commercial uses at the street level, overlooked by a healthy canopy of sidewalk shade trees, fine architecture, upper story professional offices and residences. The Form-Based Code shall serve as the foundation for Downtown Auburn's 21st century "Place-Based" & "Innovation/Creativity-Based" Economic & Community Development platform.



Development and redevelopment within the designated Downtown Auburn/New Auburn District shall be regulated by the Downtown Auburn/New Auburn Form-Based Code in order to achieve the vision set forth in the 2011 Auburn Comprehensive Plan and the 1997 ADAPT Plan.

The Downtown Auburn/New Auburn Form-Based Code provides the specific means to guide and deliver the implementation of the citizen-endorsed vision for the development and

redevelopment of all properties and streets within the designated Downtown Auburn/New Auburn District.

The Downtown Auburn/New Auburn Form-Based Code (also referred herein as the “Form-Based Code” or the “Code”) is a legal document that regulates land-development by setting careful and coherent standards on building form – while employing more flexible parameters relative to building use and density. This greater emphasis on physical form is intended to deliver safe, attractive and enjoyable public spaces, also known as “The Public Realm”, (good streets, sidewalks, riverfronts, neighborhoods and parks), complimented with a healthy mix of uses and engaging diversity.



With proper and more traditional urban form a greater integration of building uses is natural and comfortable. The Form-Based Code uses simple and clear graphic prescriptions and parameters for height, siting and building elements to address the basic necessities of good and sustainable urban form.

Wherever there appears to a conflict between the Downtown Auburn/New Auburn Form-Based Code and the City of Auburn Zoning Code (as applied to a particular property in the designated Downtown Form-Based Code district), the requirements specifically set forth in the “Form-Based Code” shall prevail. For development standards not covered by the “Form-Based Code”, the other applicable sections in the City of Auburn Zoning Code shall be used as the requirement. Similarly, all development must comply with all relative Federal, State, County and/or local regulations and ordinances.

Downtown Auburn/New Auburn Form-Based Code

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Downtown Auburn & New Auburn Form-Based Code Building Development Standards (1/2015) (T4.1, T4.2, T5.1, T5.2, T6.)

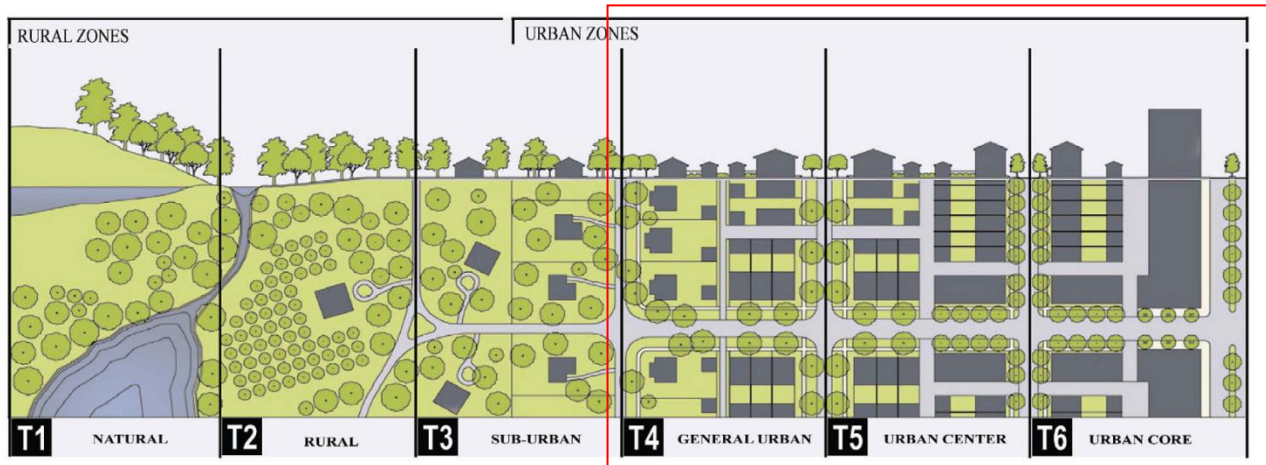
Purpose

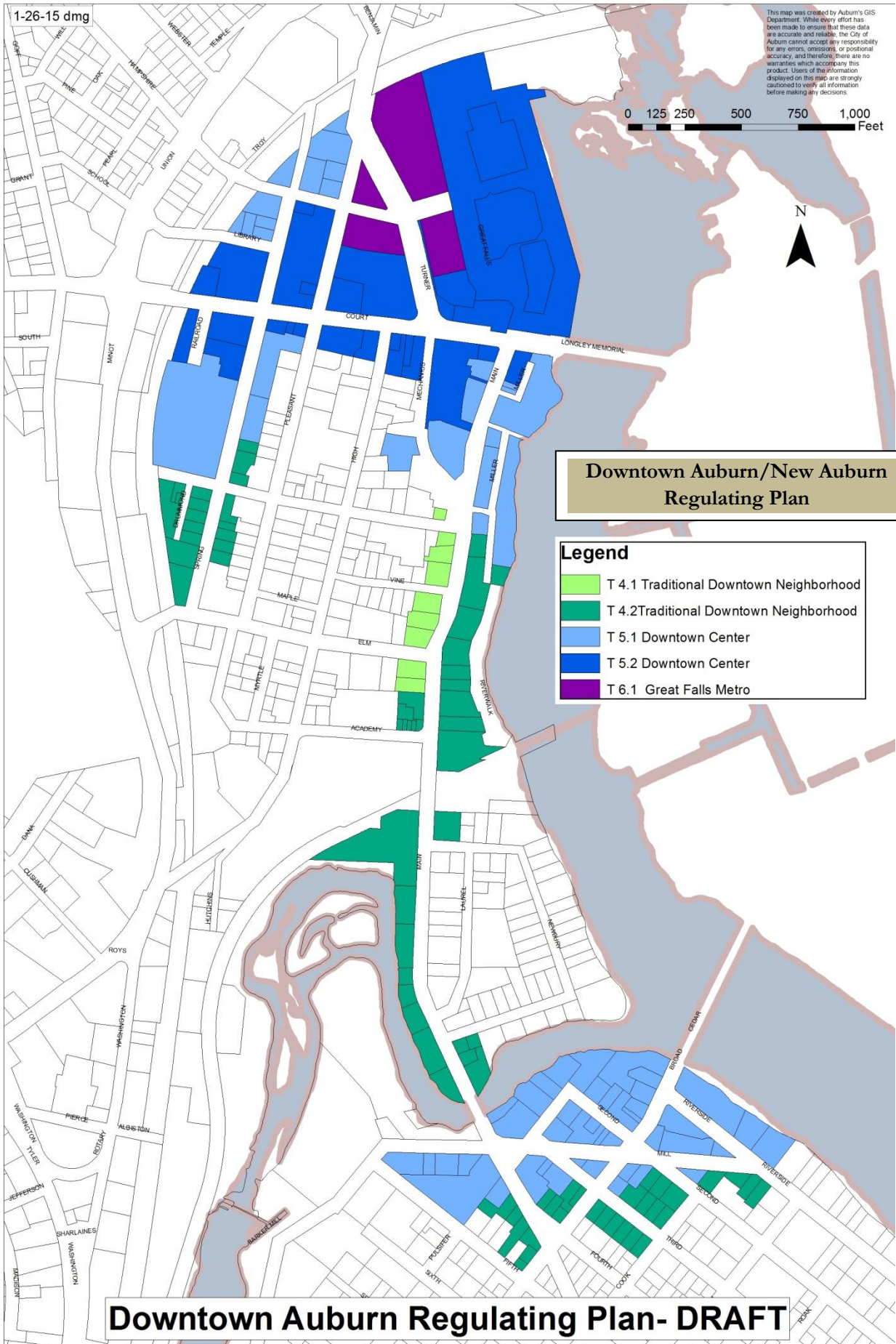
The Urban Standards set the standard for the contextual development pattern and dictate allowed uses in the Downtown Auburn/New Auburn area by regulating the functional shape and form of the built environment. The Downtown zone designations are illustrated in the **Regulating Plan**. The zones are established to deliver the desired intensity, building scale, and contextual building/street form for any specific area. The (T6 Great Fall Metro) and (T5.1 & T5.2 Downtown Center) zones facilitate dense commercial, retail and mixed-use development, while the (T4.1 & T4.2) Traditional Downtown Neighborhood zones are scaled primarily toward residential, local mercantile, and human-scale neighborhood character.

Urban Standards by Zones

The Urban Standards contained in the following pages describe allowed building types, frontage types, and building development standards, and for the zones established in the Downtown Auburn/New Auburn Regulating Plan.

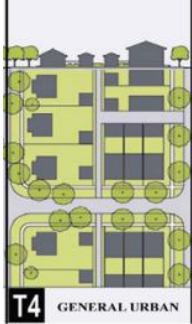
The Transect



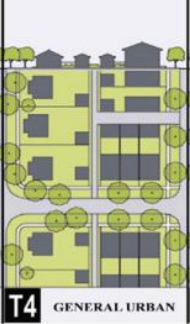


The Downtown Auburn Transect: Summary Table

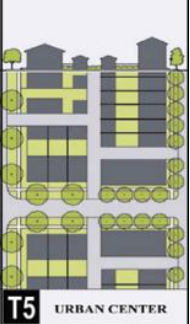
T4.1 (TND)



T4.2 (TDN)



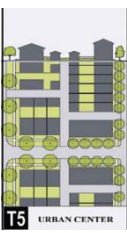
T5.1 (DC)



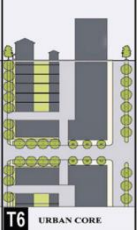
The Downtown Auburn Transect: Summary Table



T5.2 (DC)



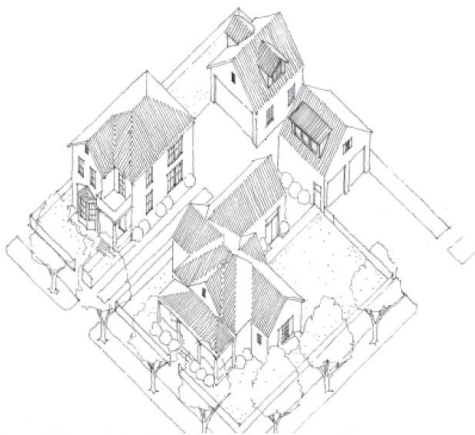
T6 (GFM)



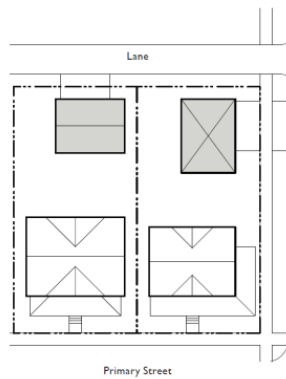
Building Types

Carriage House

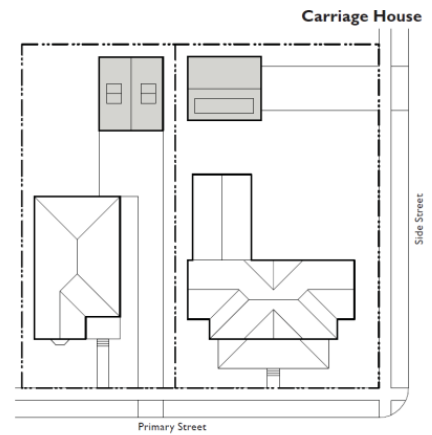
T1 T2 T3 **T4** T5 T6



General Note: The drawings and photos on this page are illustrative, not regulatory.



Typical Lane-loaded Plan Diagram



Typical Front-loaded Plan Diagram



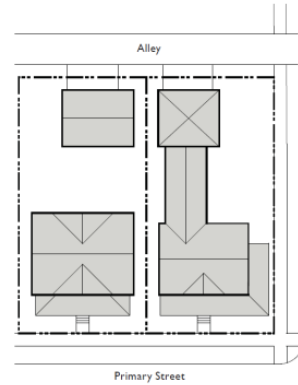
Notes:

Single Family House

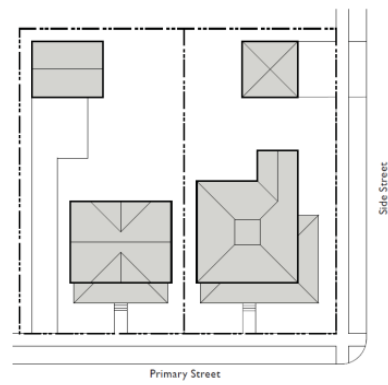
T1 T2 T3 **T4** T5 T6



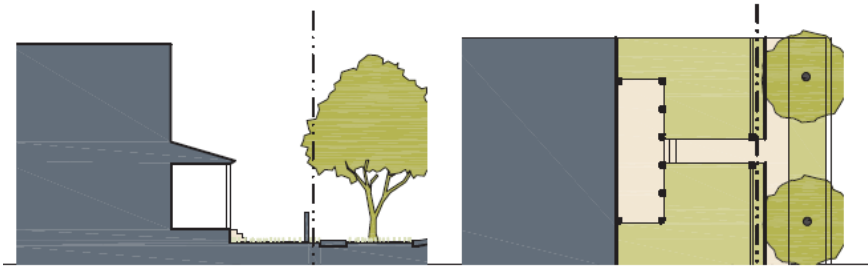
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Typical Alley-loaded Plan Diagram



Typical Front-loaded Plan Diagram



Frontage Type: Porch Yard – The Porch Yard Frontage has a planted frontage wherein the façade is setback from the frontage line with an attached porch permitted to encroach. A fence at the frontage line maintains street spatial definition.

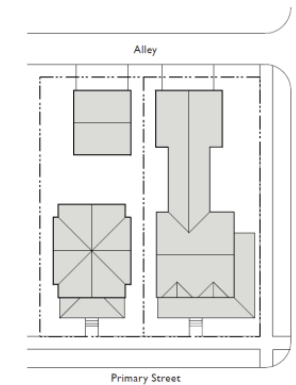
Notes:

Single Family Cottage

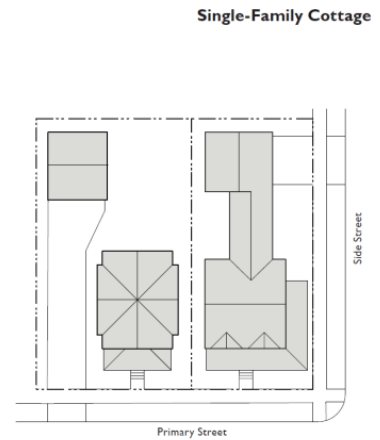
T1 T2 T3 **T4** T5 T6



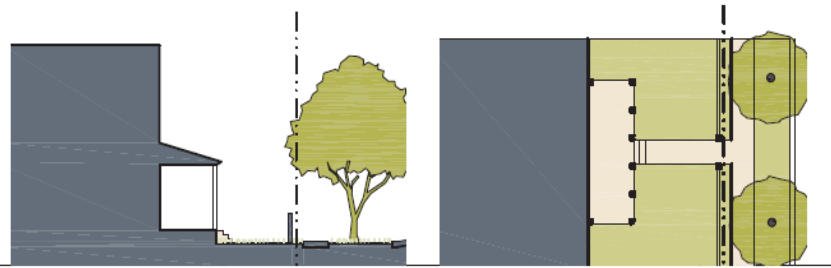
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Typical Front-loaded Plan Diagram



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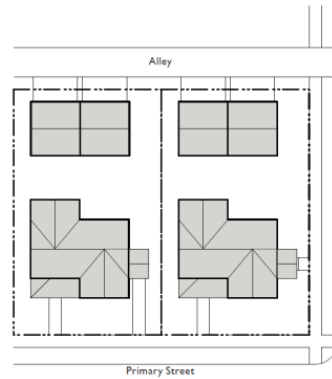
Notes:

Duplex, Side by Side

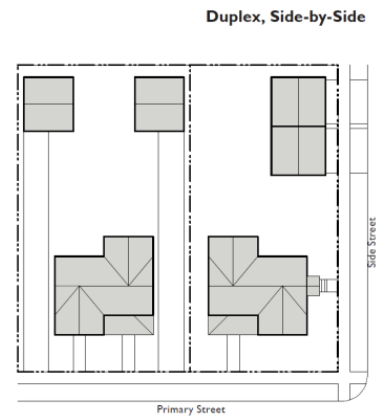
T1 T2 T3 **T4** T5 T6



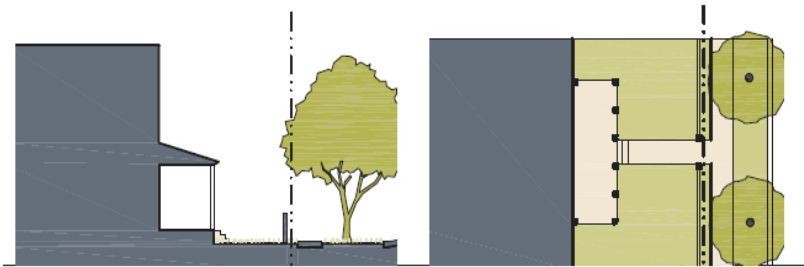
General Note: The drawings and photos on this page are illustrative, not regulatory.



Typical Alley-loaded Plan Diagram



Typical Front-loaded Plan Diagram

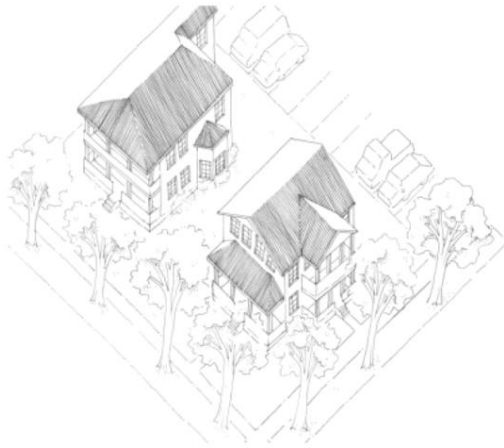


Frontage Type: Porch Yard – The Porch Yard Frontage has a planted frontage wherein the façade is setback from the frontage line with an attached porch permitted to encroach. A fence at the frontage line maintains street spatial definition.

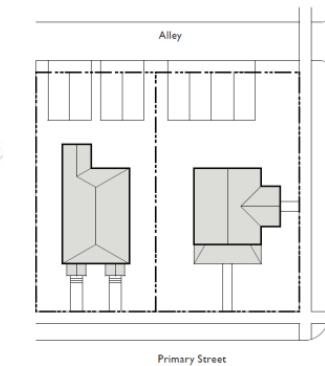
Notes:

Duplex, Stacked

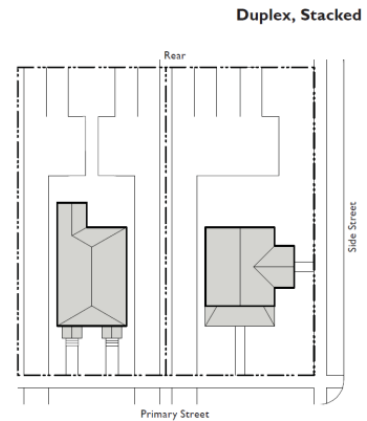
T1 T2 T3 **T4** T5 T6



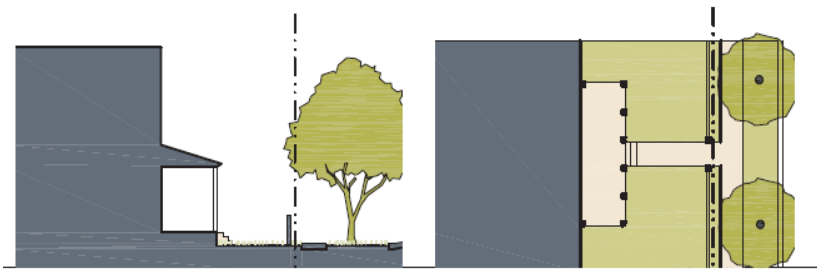
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Typical Alley-loaded Plan Diagram



Typical Front-loaded Plan Diagram



Frontage Type: Porch Yard – The Porch Yard Frontage has a planted frontage wherein the façade is setback from the frontage line with an attached porch permitted to encroach. A fence at the frontage line maintains street spatial definition.

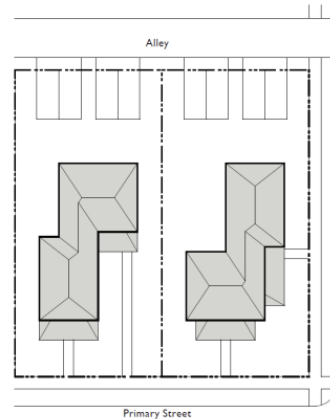
Notes:

Duplex, Front and Back

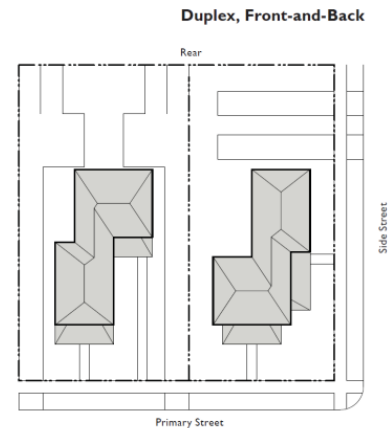
T1 T2 T3 **T4** T5 T6



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Typical Alley-loaded Plan Diagram



Typical Front-loaded Plan Diagram

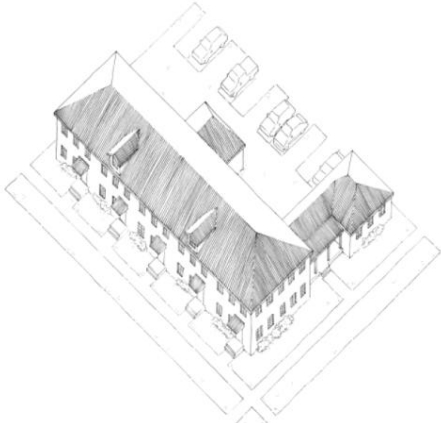


Frontage Type: Porch Yard – The Porch Yard Frontage has a planted frontage wherein the façade is setback from the frontage line with an attached porch permitted to encroach. A fence at the frontage line maintains street spatial definition.

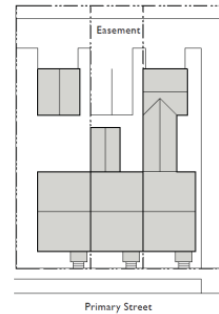
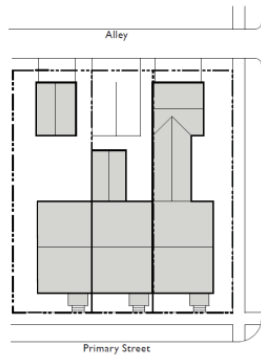
Notes:

Townhouse/Rowhouse

T1 T2 T3 T4 T5 T6



Townhouse



General Note: The drawings and photos on this page are illustrative, not regulatory.

Typical Alley-loaded Plan Diagram

Typical Front-loaded Plan Diagram: Allowed where topography does not allow Alley access.



Frontage Type: Stoop – The Stoop Frontage has a facade aligned closely to the frontage line with the first story elevated from the sidewalk sufficiently to secure privacy for the windows. The entrance is usually an exterior stair and landing.



Frontage Type: Terrace or Lightwell – The Terrace or Lightwell Frontage has a facade setback from the frontage line by an elevated terrace or sunken lightwell. This type buffers residential or commercial uses from urban sidewalks and removes the private yard from public encroachment. Terraces are suitable for conversion to outdoor cafes.

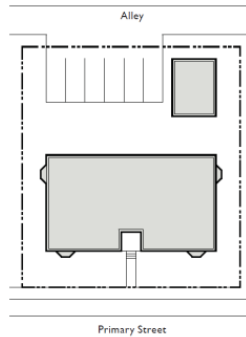
Notes:

Apartment House

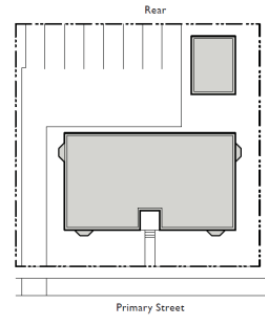
T1 T2 T3 **T4** T5 T6



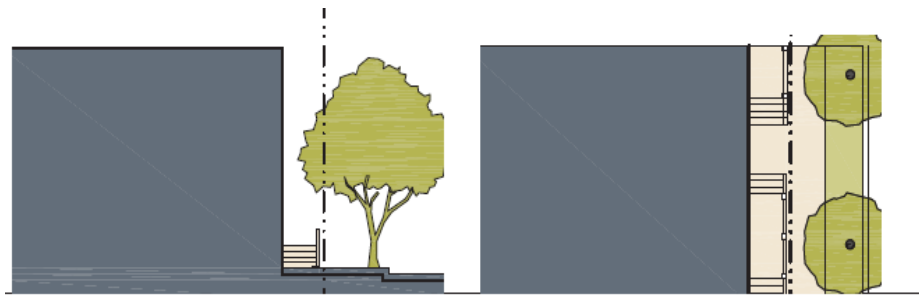
General Note: The drawings and photos on this page are illustrative, not regulatory.



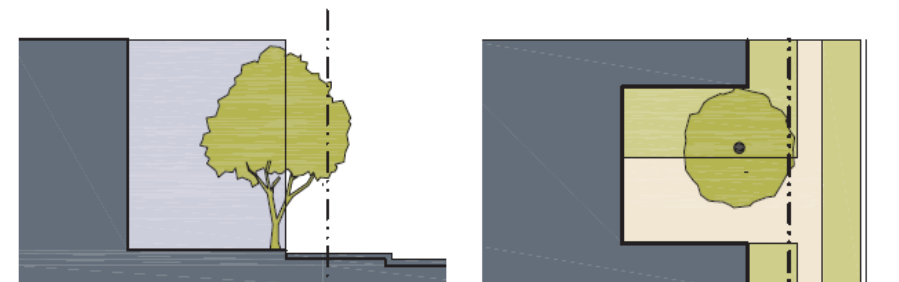
Typical Alley-loaded Plan Diagram



Typical Front-loaded Plan Diagram



Frontage Type: Stoop – The Stoop Frontage has a facade aligned closely to the frontage line with the first story elevated from the sidewalk sufficiently to secure privacy for the windows. The entrance is usually an exterior stair and landing.



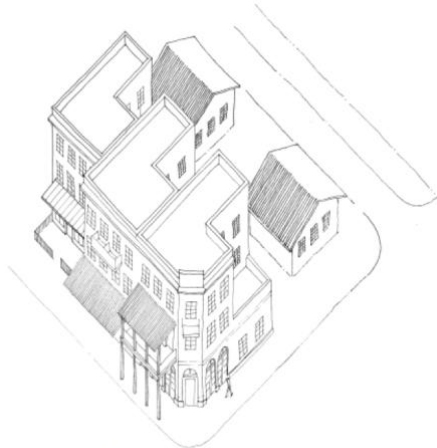
Frontage Type: Forecourt – The Forecourt frontage has a portion of the facade close to the frontage line and a central portion is setback. The Forecourt created is suitable for vehicular drop-offs. This type should be allocated in conjunction with other frontage types. Large trees within the forecourts may overhang the sidewalks.

Notes:

Live/Work Building

T1 T2 T3 T4 T5 T6

Live/Work



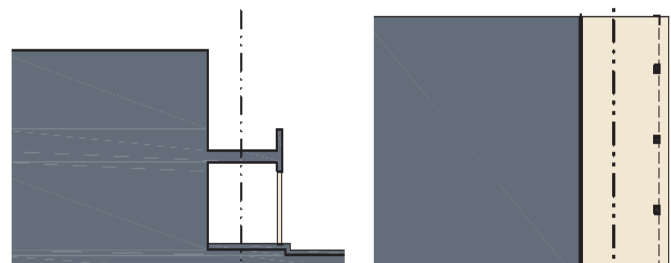
General Note: The drawings and photos on this page are illustrative, not regulatory.



Typical Alley-loaded Plan Diagram



Frontage Type: Shopfront – The Shopfront Frontage has a façade aligned close to the Build-To-Layer with the building entrance at sidewalk grade. This type is conventional for retail use. It has substantial glazing at the sidewalk level and may include an awning that may overlap the sidewalk to within two feet of the curb.

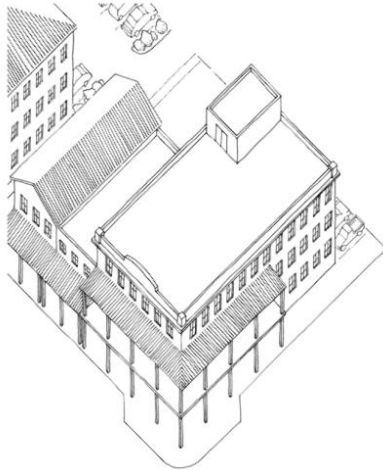


Frontage Type: Gallery – The Gallery Frontage has a façade aligned close to the frontage line with an attached cantilevered shed or lightweight colonnade overlapping the sidewalk. This type is conventional for retail use. The Gallery shall be no less than ten feet wide and should overlap the sidewalk to within two feet of the curb. Alternatively the lot-line shall be aligned with the edge of the gallery and curb, and a sidewalk is established within an easement under the gallery.

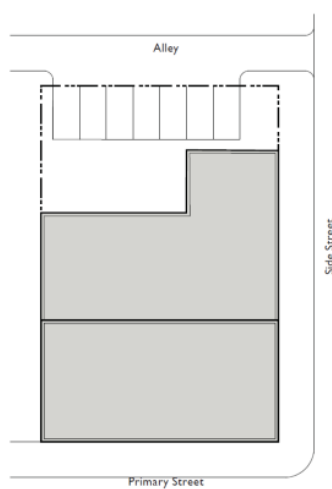
Notes:

Commercial Block

T1 T2 T3 T4 T5 T6

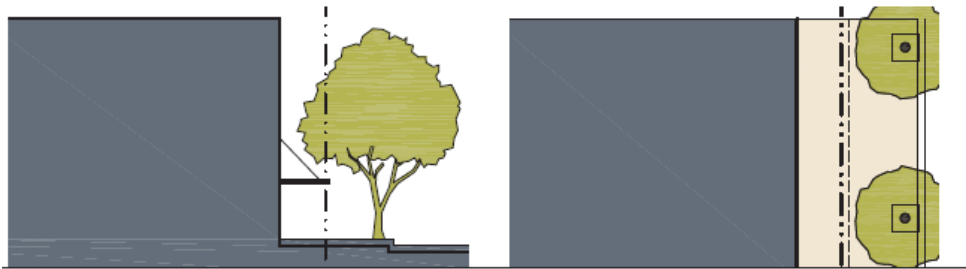


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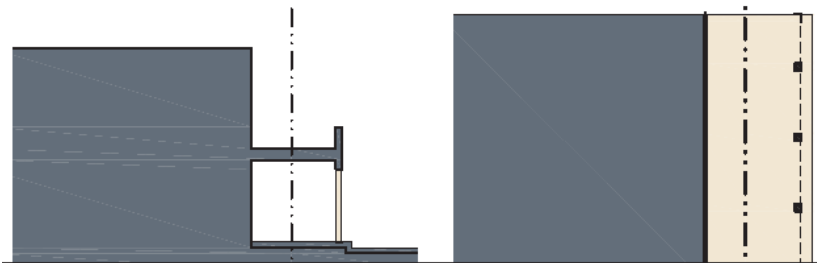


Typical Alley-loaded Plan Diagram

Commercial Block



Frontage Type: Shopfront – The Shopfront Frontage has a façade aligned close to the Build-To-Layer with the building entrance at sidewalk grade. This type is conventional for retail use. It has substantial glazing at the sidewalk level and may include an awning that may overlap the sidewalk to within two feet of the curb.

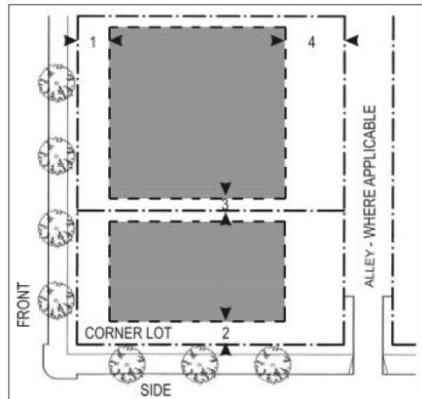


Frontage Type: Gallery – The Gallery Frontage has a façade aligned close to the frontage line with an attached cantilevered shed or lightweight colonnade overlapping the sidewalk. This type is conventional for retail use. The Gallery shall be no less than ten feet wide and should overlap the sidewalk to within two feet of the curb. Alternatively the lot-line shall be aligned with the edge of the gallery and curb, and a sidewalk is established within an easement under the gallery.

Notes:

T4.1 Traditional Downtown Neighborhood

A. Building Placement



1. Building Placement

a. Primary buildings shall be placed in the shaded area as shown in the diagram above (unless specified otherwise by a permitted Building Type).

1. Front Yard Setback: (15) ft. min to (25) ft. max.
2. Side Street Setback: (10) ft. min to (15) ft. max.
3. Side Yard Setback: (10) ft. min.
4. Rear Setback: (25) ft. min.

2. Carriage Houses and Accessory Buildings

Carriage House and Accessory Buildings shall be placed in the shaded area in Diagram C. Parking Placement.

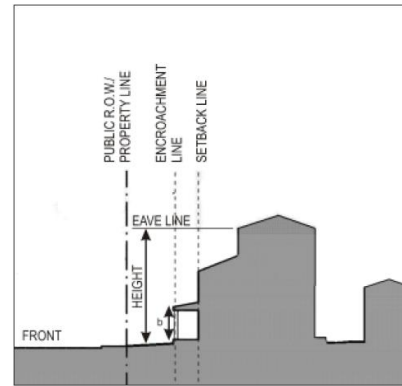
1. Street Setback: Rear (50%) Lot Depth
2. Side Street Setback: (5) ft. min.
3. Side Yard Setback: (5) ft. min.
4. Rear Setback: (5) ft. min.

3. Architectural Encroachments

a. Balconies, bay windows, chimneys, cantilevered rooms, and eaves may encroach into required setbacks as identified above and as may be further limited by the Auburn Building Code.

1. Balconies: (6) ft. maximum into Front Setback (aka Street Build-To-Layer), Side Street Setback, and Rear Setbacks.
2. Bay windows, chimneys, cantilevered rooms, and eaves: (3) ft. maximum into all Setback Areas identified in Diagram A. "Building Placement", above.

B. Building Profile and Frontage



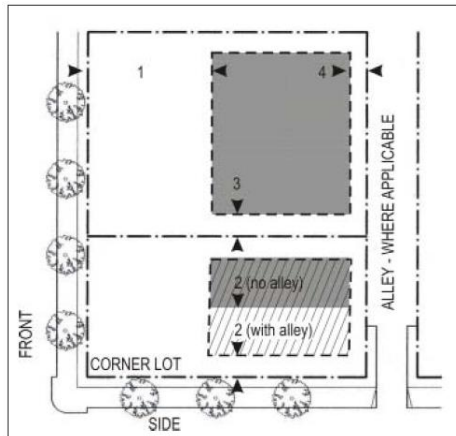
1. Height

- a. Maximum (2)-stories for Primary Building.
- b. Floor to Floor: (12) ft. Max.
- c. Accessory Buildings: (14) ft. Max. to eave or parapet line.
- d. Carriage Houses: See Building Type performance standards.

2. Frontage Types

- Porch Yard

C. Parking



1. Parking and Services Placement

a. Off-street parking and Services shall be placed in the shaded area shown above.

1. Street Setback: Rear (50%) of lot depth.
2. Side Street Setback: (5) ft. min. with alley, (20) ft. minimum with no alley.
3. Side Yard Setback: (5) ft. min.
4. Rear Setback: (10) ft. min.

2. Parking Requirements

- a. Residential: 1 parking space/____ s.f.
- b. Non-residential: 2 parking spaces/____ s.f.

D. Building Types

Building Type	Allowed Lot Widths						
	25'	35'	50'	75'	100'	125'	150'
Single Family House							
Single Family Cottage							
Carriage House							
Duplex							

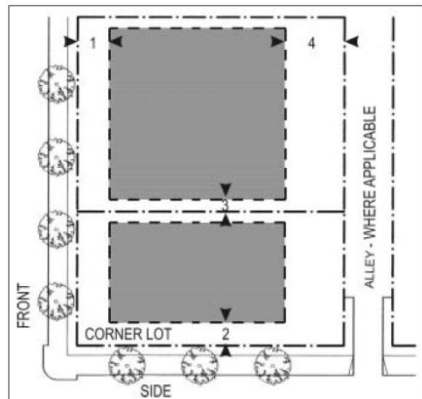
The building types allowed within the in T4.1 Traditional Downtown Neighborhood zone shall be limited to those on the Table above, and placed only on lots with the lot widths shown. See Article ____ (Building Type Standards).

E. Allowed Land Uses

The following land uses may occur within the T4.1 Traditional Downtown Neighborhood zone, subject to noted permit requirements:

T4.2 Traditional Downtown Neighborhood

A. Building Placement



1. Building Placement

a. Primary buildings shall be placed in the shaded area as shown in the diagram above (unless specified otherwise by a permitted Building Type).

1. Front Yard Setback: (0) ft. min. to (25) ft. max.
2. Side Street Setback: (10) ft. min. to (15) ft. max.
3. Side Yard Setback: (5) ft. min.
4. Rear Setback: (25) ft. min.

2. Carriage Houses and Accessory Buildings

Carriage House and Accessory Buildings shall be placed in the shaded area in Diagram C. Parking Placement.

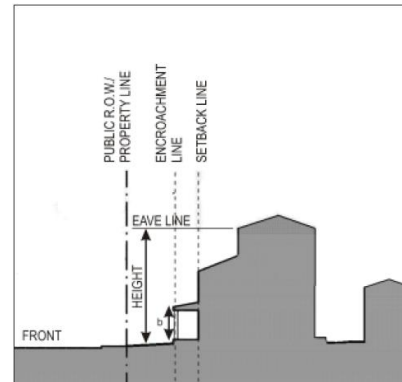
1. Street Setback: Rear (50%) lot depth.
2. Side Street Setback: (5) ft. min.
3. Side Yard Setback: (5) ft. min.
4. Rear Setback: (5) ft. min.

3. Architectural Encroachments

a. Balconies, bay windows, chimneys, cantilevered rooms, and eaves may encroach into required setbacks as identified above and as may be further limited by the Auburn Building Code.

1. Balconies: (6) ft. maximum into Front Setback (aka Street Build-To-Layer), Side Street Setbacks, and Rear Setbacks.
2. Bay windows, chimneys, cantilevered rooms, and eaves: (3) ft. maximum into all Setback Areas identified in Diagram A." Building Placement", above.

B. Building Profile and Frontage



1. Height

a. Maximum (3-stories) for Primary Building.

b.) Finished Floor Elevation:

Commercial: Level with sidewalk min., (18) inches above sidewalk grade max.

Residential: (3) ft. min, (6) ft. max. above sidewalk grade.

c.) Floor to Ceiling:

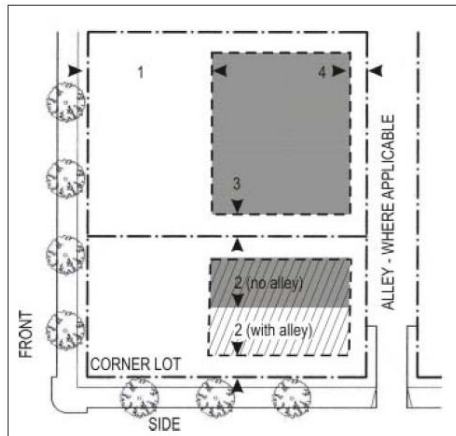
- Commercial: 1st floor: (12) ft. min., (16) ft. max.
- Upper Floors: (9) ft. min., (12) ft. max.
- Residential: (9) ft. min, (12) ft. max.

e.) Accessory Buildings: (1-story) maximum.

2. Frontage Types

- Porch Yard
- Stoop
- Lightcourt
- Shopfront

C. Parking



1. Parking and Services Placement

a. Off-street parking and Services shall be placed in the shaded area shown above.

1. Street Setback: Rear (50%) of lot depth.
2. Side Street Setback: (5) ft. minimum with alley, (20) ft. minimum with no alley.
3. Side Yard Setback: (5) ft. minimum.
4. Rear Setback: (5) ft. minimum.

2. Parking Requirements

- a. Residential: 1 parking space/____ s.f.
- b. Non-residential: 2 parking spaces/____ s.f.

D. Building Types

Building Type	Allowed Lot Widths						
	25'	35'	50'	75'	100'	125'	150'
Single Family Home							
Single Family Cottage							
Duplex							
Apartment House							
Live/Work Bldg							

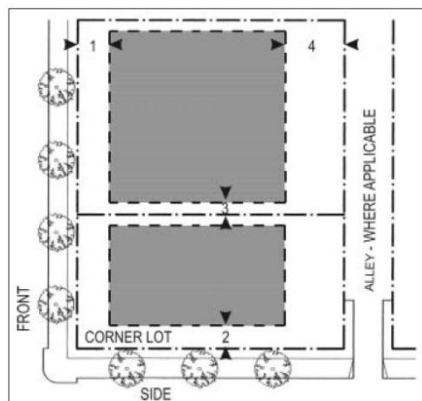
The building types allowed within the in T4.1 Traditional Downtown Neighborhood zone shall be limited to those on the Table above, and placed only on lots with the lot widths shown. See Article ____ (Building Type Standards).

E. Allowed Land Uses

The following land uses may occur within the T4.1 Traditional Downtown Neighborhood zone, subject to noted permit requirements:

T5.1 Downtown Center

A. Building Placement



1. Building Placement

a. Primary buildings shall be placed in the shaded area as shown in the diagram above (unless specified otherwise by a permitted Building Type).

1. Front Setback: (0) ft. min. to (10) ft. max.
2. Side Street Setback: (0) ft. min. to (10) ft. max.
3. Side Yard Setback: (0) ft. min to (10) ft. max.
4. Rear Setback: (10) ft. min.

2. Carriage Houses and Accessory Buildings

Carriage House and Accessory Buildings shall be placed in the shaded area in Diagram C. Parking Placement.

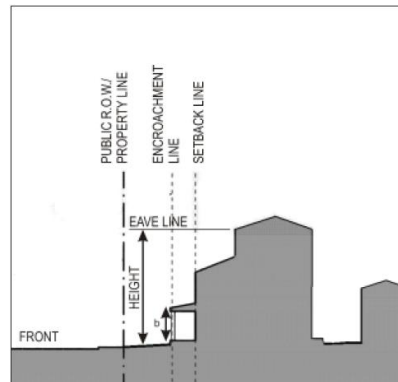
1. Street Setback: Rear (50%) of Lot depth.
2. Side Street Setback: (5) ft. min.
3. Side Yard Setback: (5) ft. min.
4. Rear Setback: (10) ft. min.

3. Architectural Encroachments

a. Balconies, bay windows, chimneys, cantilevered rooms, and eaves may encroach into required setbacks as identified below and as may be further limited by the Auburn Building Code.

1. Balconies: (6) ft. maximum into the Front Setback (aka Build-to-Layer), Side Street Setback, and Rear Setbacks.
2. Bay windows, chimneys, cantilevered rooms, and eaves: (3) ft. maximum into all Setback Areas identified in Diagram A. "Building Placement", above.

B. Building Profile and Frontage



1. Height

a. Maximum (4-stories), Minimum (2-stories) for Primary Building.

b.) Finished Floor Elevation:

Commercial: Level with sidewalk min., (18) inches above sidewalk grade max.

Residential: (3) ft. min, (6) ft. above sidewalk grade max.

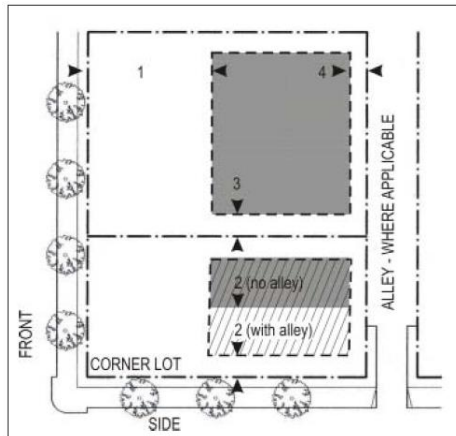
c.) Floor to Ceiling:

- Commercial: 1st floor: (12) ft. min., (20) ft. max.
 - Upper Floors: (9) ft. min., (16) ft. max.
 - Residential: (9) ft. min, (16) ft. max.
- d.) Required Street Wall: (4) ft. min., (6) ft. max. along any un-built lot frontage.
- e.) Accessory Buildings: (1-story) maximum.

2. Frontage Types

- Stoop
- Lightcourt
- Forecourt
- Shopfront
- Gallery

C. Parking



1. Parking and Services Placement

a. Off-street parking and Services shall be placed in the shaded area shown above.

1. Street Setback: Rear (50%) of lot depth.
2. Side Street Setback: (5) ft. minimum with alley, (20) ft. minimum with no alley.
3. Side Yard Setback: (5) ft. minimum.
4. Rear Setback: (5) ft. minimum.

2. Parking Requirements

- a. Residential: 1 parking space/____ s.f.
- b. Non-residential: 2 parking spaces/____ s.f.

D. Building Types

Building Type	Allowed Lot Widths								
	25'	35'	50'	75'	100'	125'	150'	175'	200'
Town House - Row House									
Apartment House									
Commercial Block									
Live/Work Building									

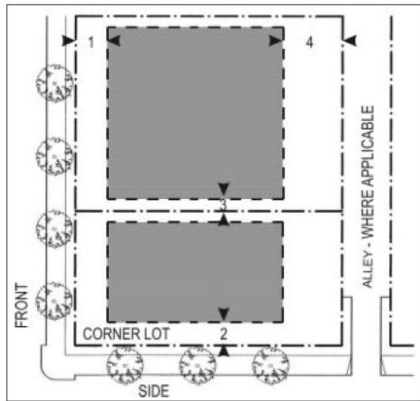
The building types allowed within the in T5.1 Downtown Center zone shall be limited to those on the Table above, and placed only on lots with the lot widths shown. See Article (Building Type Standards).

E. Allowed Land Uses

The following land uses may occur within the T5.1 Downtown Center zone, subject to noted permit requirements:

T5.2 Downtown Center

A. Building Placement



1. Building Placement

a. Primary buildings shall be placed in the shaded area as shown in the diagram above (unless specified otherwise by a permitted Building Type).

1. Front Setback: (0) ft min. to (10) ft. max.
2. Side Street Setback: (0) ft. min to (10) ft. max.
3. Side Yard Setback: (0) ft. min to (5) ft. max.
4. Rear Setback: (10) ft. min.

2. Carriage Houses and Accessory Buildings

Carriage House and Accessory Buildings shall be placed in the shaded area in Diagram C. Parking Placement.

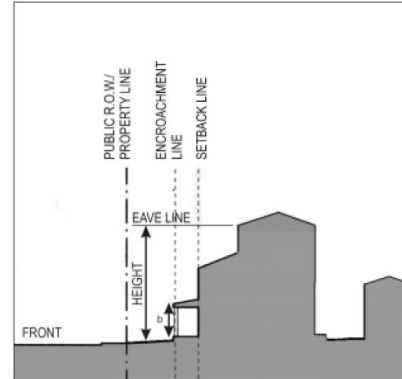
1. Street Setback: (0) ft. min to (10) ft. max.
2. Side Street Setback: (0) ft. min to (10) ft. max.
3. Side Yard Setback: (0) ft. min to (5) ft. max.
4. Rear Setback: (10) ft. min.

3. Architectural Encroachments

a. Balconies, bay windows, chimneys, cantilevered rooms, and eaves may encroach into required setbacks as identified below and as may be further limited by the Auburn Building Code.

1. Balconies: (6) ft. maximum into the Front Setback (aka Build-To-Layer), Side Street Setback, and Rear Setbacks.
2. Bay windows, chimneys, cantilevered rooms, and eaves: (3) ft. maximum into all Setback Areas identified in Diagram A. "Building Placement", above.

B. Building Profile and Frontage



1. Height

a. Maximum (6-stories), Minimum (3-stories) for Primary Building.

b.) Finished Floor Elevation:

Commercial: Level with sidewalk min., (18) inches above sidewalk grade max.

Residential: (3) ft. min, (6) ft. above sidewalk grade max.

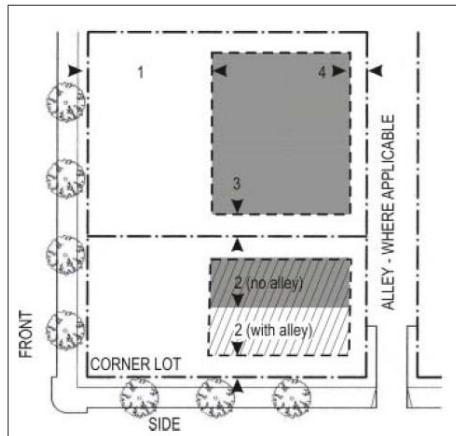
c.) Floor to Ceiling:

- Commercial: 1st floor: (12) ft. min., (20) ft. max.
 - Upper Floors: (9) ft. min., (16) ft. max.
 - Residential: (9) ft. min, (16) ft. max.
- d.) Required Street Wall: (4) ft. min., (6) ft. max. along any un-built lot frontage.
- e.) Accessory Buildings: (1-story) maximum.

2. Frontage Types

- Stoop
- Lightcourt
- Forecourt
- Shopfront
- Gallery

C. Parking



1. Parking and Services Placement

a. Off-street parking and Services shall be placed in the shaded area shown above.

1. Street Setback: Rear (50%) of lot depth.
2. Side Street Setback: (5) ft. minimum with alley, (20) ft. minimum with no alley.
3. Side Yard Setback: (5) ft. minimum.
4. Rear Setback: (5) ft. minimum.

2. Parking Requirements

- a. Residential: 1 parking space/____ s.f.
- b. Non-residential: 2 parking spaces/____ s.f.

D. Building Types

Building Type	Allowed Lot Widths					
	25'	50'	100'	150'	200'	250'
Town House - Row House						
Apartment House						
Commercial Block						
Live/Work Building						

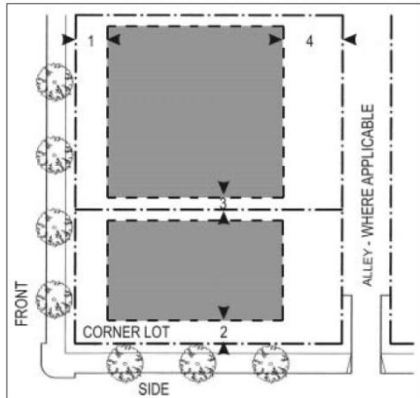
The building types allowed within the in T5.2 Downtown Center zone shall be limited to those on the Table above, and placed only on lots with the lot widths shown. See Article (Building Type Standards).

E. Allowed Land Uses

The following land uses may occur within the T5.2 Downtown Center zone, subject to noted permit requirements:

T6.1 Great Falls Metro

A. Building Placement



1. Building Placement

a. Primary buildings shall be placed in the shaded area as shown in the diagram above (unless specified otherwise by a permitted Building Type).

1. Front Setback: (0) ft. min. to (10) ft. max.
2. Side Street Setback: (0) ft. min to (10) ft. max.
3. Side Yard Setback: (0) ft. min to (5) ft. max.
4. Rear Setback: (10) ft. min.

2. Carriage Houses and Accessory Buildings

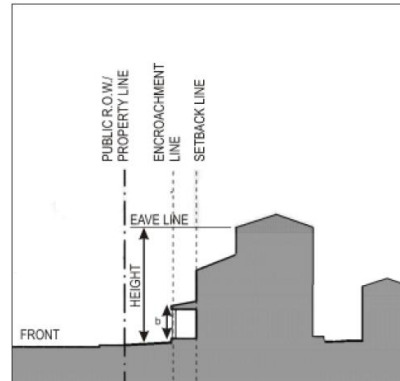
Carriage House and Accessory Buildings shall be placed in the shaded area in Diagram C. Parking Placement.

1. Street Setback: Rear (50%) of Lot Depth.
2. Side Street Setback: (0) ft. min to (10) ft. max.
3. Side Yard Setback: (0) ft. min to (5) ft. max.
4. Rear Setback: (10) ft. min.

3. Architectural Encroachments

a. Balconies, bay windows, chimneys, cantilevered rooms, and eaves may encroach into required setbacks as identified below and as may be further limited by the Auburn Building Code.

B. Building Profile and Frontage



1. Height

GFM (Core)

a.) Building: (6-stories) minimum, (12-stories) maximum for Primary Building.

GFM (Fringe)

a.) Building: (4-stories) minimum, (8-stories) maximum for Primary Building.

b.) Finished Floor Elevation: Level with sidewalk min., (18) inches above sidewalk grade max.

c.) Floor to Floor:

1st Floor: (12) ft. min., (20) ft. max.

Upper Floors: (9) ft. min., (12) ft. max.

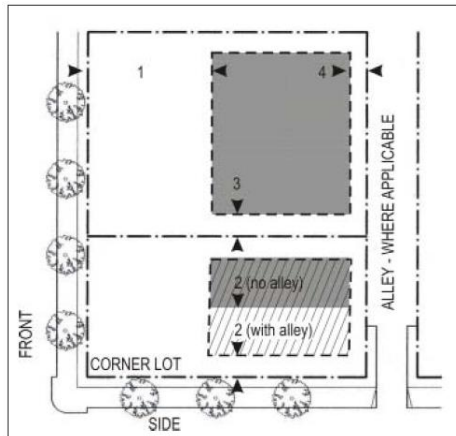
d.) Required Street Wall: (4) ft. min., (6) ft. max. along any un-built lot frontage.

e.) Accessory Buildings: (1-story) maximum.

2. Frontage Types

- Shopfront
- Forecourt
- Gallery

C. Parking



1. Parking and Services Placement

a. Off-street parking and Services shall be placed in the shaded area shown above.

1. Street Setback: Rear (50%) of lot depth.
2. Side Street Setback: (5) ft. minimum with alley, (20) ft. minimum with no alley.
3. Side Yard Setback: (5) ft. minimum.
4. Rear Setback: (5) ft. minimum.

2. Parking Requirements

- a. Residential: 1 parking space/____ s.f.
- b. Non-residential: 2 parking spaces/____ s.f.

D. Building Types

Building Type	Allowed Lot Widths					
	25'	50'	100'	150'	200'	250' 300'
Town House - Row House						
Apartment House						
Commercial Block						
Live/Work Building						

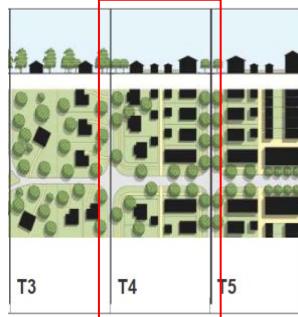
The building types allowed within the in T6.1 Great Falls Metro zone shall be limited to those on the Table above, and placed only on lots with the lot widths shown. See Article (Building Type Standards).

E. Allowed Land Uses

The following land uses may occur within the T6.1 Great Falls Metro zone, subject to noted permit requirements:

Traditional Downtown Neighborhood (TDN) T4.1, T4.2

T4.1 Traditional Downtown Neighborhood



Allowed Frontage Types:

- Porch Yard

Allowed Building Types:

- Single Family House
- Single Family Cottage
- Carriage House
- Duplex (side by side)
- Duplex (stacked)
- Duplex (front and back)

Build-To-Layer: 15 ft. minimum, 25 ft. maximum front setback

1. Building Height

- The height of the principal building is measured in stories.
- Each principal building shall be no greater than (2) stories in height, except as otherwise provided on the Downtown Auburn/New Auburn Regulating Plan.
- An attic story shall not count against the maximum story height.

2. Parking Structure Height

Where a parking structure is within 40 feet of any principal building, that portion of the structure shall not exceed the primary building's eave or parapet height.

3. Ground Story Height:

- The finished floor elevation shall be no less than (3) ft. and no more than (6) ft. above the exterior sidewalk elevation at the required building line.
- The first story shall have an interior clear height (floor to ceiling) of at least (9) ft. and a maximum floor to ceiling story height of (16) ft.

4. Upper Story Height

- The maximum floor-to-ceiling story height for stories other than the ground story is (12) ft.
- At least (80%) of each upper story shall have an interior clear height (floor to ceiling) of at least (9) ft.

5. Mezzanines

Mezzanines having a floor area greater than 1/3 of the floor area of the story in which the mezzanine is situated shall be counted as full stories.

6. Street Yard Fence

a. A Street Yard Fence not less than (3) ft. in height or greater than (4) ft. in height shall be required along the private lot line fronting the street on all residential properties in order to spatially maintain the edge of the street.

7. Street Facade

- a. On each lot the building façade shall be built to the required Build-To-Line (BTL) for at least (60%) of the required building line length.
- b. The building façade shall be built to the required Build-To-Layer (BTL) within (30) ft. of a block corner.
- c. These portions of the building façade (the required minimum build-to) may include jogs of not more than (18) inches in depth except as otherwise provided to allow bay windows, balconies, etc.

8. Buildable Area

- a. Buildings may occupy the portion of the lot specified by these building envelope standards.
- b. A contiguous open area equal to at least (20%) of the total buildable area shall be preserved on every lot. Such contiguous open area may be located anywhere behind the parking setback, at grade.
- c. No part of any building, except overhanging eaves, awnings, or balconies shall occupy the remaining lot area.

9. Side Lot Setbacks

The principal building shall be setback at least (5) ft. from the shared lot line.

10. Garage and Parking

- a. Garage entries or driveways shall be located at least (50) ft. away from any block corner or another garage entry on the same block, unless otherwise designated on the Downtown Auburn/New Auburn Regulating Plan.
- b. Garage entries shall have a maximum clear height of (12) ft., and a maximum clear width of (18) ft.
- c. Vehicle parking areas on private property shall be located in the rear 50% of the building lot, except where parking is provided below grade.
- d. These requirements are not applicable to on-street parking.

11. Alleys

There is no required setback from alleys. On lots having no alley access, there shall be a minimum setback of (10) ft. from the rear lot line.

12. Corner Lots

Corner lots shall satisfy the code requirements for the full required building line length – unless otherwise specified in this code.

13. Common Lot Line Treatment

- a. Privacy fences may be constructed along that portion of a common lot line not otherwise occupied by a building.

14. Lot Widths

There shall be a minimum lot width of (50) ft., and a maximum lot width of (150) ft.

1. Windows and Doors

- a. Blank lengths of wall exceeding (10) linear feet are prohibited on all required building lines.
- b. Windows and Doors on the ground story facades shall comprise at least (25%), but not more than (60%), of the facade area (measured as a percentage of the facade between floor levels).

c. Windows and Doors on the upper story facades shall comprise at least (20%), but no more than (40%), of the facade area per story (measured as a percentage of the facade between floor levels).

2. Building Projections

a. Balconies and stoops shall not project closer than (5) ft. to a common lot line.

b. No part of any building, except overhanging eaves, awnings, balconies, bay windows, as specified by the code, shall encroach beyond the setback lines and front setback layer.

3. Doors/Entries

Functioning entry door(s) shall be provided along ground story facades at intervals not greater than (60) linear ft.

4. Street Walls

A vehicle entry gate no wider than (18) ft. or a pedestrian entry gate no wider than (6) ft. shall be permitted.

5. Ground Story

The ground story shall house commercial, professional, or residential uses.

6. Upper Stories

The upper stories shall house residential, professional, and/or commercial uses. No restaurant or retail sales uses shall be allowed in upper stories unless they are second story extensions equal to or less than the area of the ground story use.

No commerce use is permitted above a residential use.

Additional habitable space is permitted within the roof where the roof is configured as an attic story.

7. Permitted Uses

a. Residential uses shall be considered to encompass all of the Residential use categories, as defined in _____.

b. Commerce uses shall be considered to encompass all of the Commercial use categories, and all of the Civic use categories except passenger terminals and social service institutions, as defined in _____.

c. Use Standards as stated in Section _____ shall be applicable.

T4.2 Traditional Downtown Neighborhood (TDN)



Allowed Frontage Types:

- Porch Yard
- Stoop
- Lightcourt
- Shopfront

Allowed Building Types:

- Cottage
- Single Family Home
- Duplex (side by side)
- Duplex (stacked)
- Duplex (front and back)
- Apartment House
- Live/Work Building

Build-To-Layer: 0 ft. minimum, 25 ft. maximum front setback

1. Building Height

- The height of the principal building is measured in stories.
- Each principal building shall be no greater than (3) stories in height, except as otherwise provided on the Downtown Auburn/New Auburn Regulating Plan.
- An attic story shall not count against the maximum story height.

2. Parking Structure Height

Where a parking structure is within 40 feet of any principal building, that portion of the structure shall not exceed the primary building's eave or parapet height.

3. Ground Story Height: Mercantile & Professional

- The ground story finished floor elevation shall be equal to, or greater than the exterior sidewalk elevation in front of the building, to a maximum finished floor elevation of (18) inches above the sidewalk.
- The ground story shall have at least (12) ft. of clear interior height (floor to ceiling) contiguous to the required building line frontage for a minimum depth of at least (20) ft.
- The maximum story height for the ground story is 16 feet.

4. Ground Story Height: Residential Units

- The finished floor elevation shall be no less than (3) ft. and no more than (6) ft. above the exterior sidewalk elevation at the required building line.

b. The first story shall have an interior clear height (floor to ceiling) of at least (9) ft. and a maximum floor to floor story height of (16) ft.

5. Upper Story Height

- a. The maximum floor-to-ceiling story height for stories other than the ground story is (12) ft.
- b. At least (80%) of each upper story shall have an interior clear height (floor to ceiling) of at least (9) ft.

6. Mezzanines

Mezzanines having a floor area greater than 1/3 of the floor area of the story in which the mezzanine is situated shall be counted as full stories.

7. Street Yard Fence

- a. A Street Yard Fence not less than (3) ft. in height or greater than (4) ft. in height may be built along the private lot line fronting the street on all residential properties in order to spatially maintain the edge of the street.

8. Street Facade

- a. On each lot the building façade shall be built to the required Build-To-Layer (BTL) for at least (60%) of the required building line length.
- b. The building façade shall be built to the required Build-To-Layer (BTL) within (30) ft. of a block corner.
- c. These portions of the building façade (the required minimum build-to) may include jogs of not more than (18) inches in depth except as otherwise provided to allow bay windows, shopfronts, and balconies.

9. Buildable Area

- a. Buildings may occupy the portion of the lot specified by these building envelope standards.
- b. A contiguous open area equal to at least (10%) of the total buildable area shall be preserved on every lot. Such contiguous open area may be located anywhere behind the parking setback, at grade.
- c. No part of any building, except overhanging eaves, awnings, or balconies shall occupy the remaining lot area.

10. Side Lot Setbacks

The principal building shall be setback at least (5) ft. from the shared lot line.

11. Garage and Parking

- a. Garage entries or driveways shall be located at least (50) ft. away from any block corner or another garage entry on the same block, unless otherwise designated on the Downtown Auburn/New Auburn Regulating Plan.
- b. Garage entries shall have a maximum clear height of (12) ft., and a maximum clear width of (18) ft.
- c. Vehicle parking areas on private property shall be located in the rear 50% of the building lot, except where parking is provided below grade.
- d. These requirements are not applicable to on-street parking.

12. Alleys

There is no required setback from alleys. On lots having no alley access, there shall be a minimum setback of (10) ft. from the rear lot line.

13. Corner Lots

Corner lots shall satisfy the code requirements for the full required building line length – unless otherwise specified in this code.

14. Common Lot Line Treatment

a. Privacy fences may be constructed along that portion of a common lot line not otherwise occupied by a building.

15. Lot Widths

There shall be a minimum lot width of (25) ft., and a maximum lot width of (150) ft.

1. Windows and Doors: Residential

- a. Blank lengths of wall exceeding (10) linear feet are prohibited on all required building lines.
- b. Windows and Doors on the ground story facades shall comprise at least (25%), but not more than (60%), of the facade area (measured as a percentage of the facade between floor levels).
- c. Windows and Doors on the upper story facades shall comprise at least (20%), but no more than (40%), of the facade area per story (measured as a percentage of the facade between floor levels).

Windows and Doors: Storefront-Professional

- a. Blank lengths of wall exceeding (10) linear feet are prohibited on all required building lines.
- b. Windows and Doors on the ground story facades shall comprise at least (40%), but not more than (90%), of the facade area (measured as a percentage of the facade between floor levels).
- c. Windows and Doors on the upper story facades shall comprise at least (20%), but no more than (60%), of the facade area per story (measured as a percentage of the facade between floor levels).

2. Building Projections

- a. Balconies and stoops shall not project closer than (5) ft. to a common lot line.
- b. No part of any building, except overhanging eaves, awnings, balconies, bay windows, stoops, and shopfronts as specified by the code, shall encroach beyond the Build-To-Layer (BTL).
- c. Awnings shall project a minimum of (4) ft. and a maximum of within (1) ft. of back of curb (where there are no street trees) or (1) ft. into the tree lawn (where there are street trees.)
- c. Awnings that project over the sidewalk portion of a street-space shall maintain a clear height of at least (10) ft. except as otherwise provided for signs, street lighting and similar appurtenances.
- d. Awnings may have supporting posts at their outer edge provided that they:
 - f. Have a minimum of (8) ft. clear width between the facade and the support posts or columns of the awnings.
- g. Provide for a continuous public access easement at least (5) ft. wide running adjacent and parallel to the sidewalk cover columns/posts

3. Doors/Entries

Functioning entry door(s) shall be provided along ground story facades at intervals not greater than (60) linear ft.

4. Street Walls

A vehicle entry gate no wider than (18) ft. or a pedestrian entry gate no wider than (6) ft. shall be permitted within any required street wall.

5. Ground Story

The ground story shall house commercial or residential uses. See Height specifications above for specific requirements unique to each use.

6. Upper Stories

The upper stories shall house residential or commercial uses. No restaurant or retail sales uses shall be allowed in upper stories unless they are second story extensions equal to or less than the area of the ground story use.

No commerce use is permitted above a residential use.
Additional habitable space is permitted within the roof where the roof is configured as an attic story.

7. Permitted Uses

- a. Residential uses shall be considered to encompass all of the Residential use categories, as defined in _____.
- b. Commerce uses shall be considered to encompass all of the Commercial use categories, and all of the Civic use categories except passenger terminals and social service institutions, as defined in _____.
- c. Use Standards as stated in Section _____ shall be applicable.

Downtown Center (DC) T5.1, T5.2

T5.1 Downtown Center (DC)



Allowed Frontage Types:

- Stoop
- Lightcourt
- Forecourt
- Shopfront
- Gallery

Allowed Building Types:

- Town House/Row House
- Live/Work Building
- Apartment House
- Commercial Block

Build-To-Layer: 0 ft. minimum, 10 ft. maximum front setback

1. Building Height

- a. The height of the principal building is measured in stories.
- b. Each principal building shall have a minimum (3) stories in height, and a maximum (6) stories in height, except as otherwise provided on the Downtown Auburn/New Auburn Regulating Plan.
- c. An attic story shall not count against the maximum story height.

2. Parking Structure Height

Where a parking structure is within (40) ft. of any principal building, that portion of the structure shall not exceed the primary building's eave or parapet height.

3. Ground Story Height: Commercial/Mercantile Uses

- a. The ground story finished floor elevation shall be equal to, or greater than the exterior sidewalk elevation in front of the building, to a maximum finished floor elevation of (18) inches above the sidewalk.
- b. The ground story shall have at least (12) ft. of clear interior height (floor to ceiling) contiguous to the required building line frontage for a minimum depth of at least (25) ft.

c. The maximum story height for the ground story is (20) ft.

4. Ground Story Height: Residential Uses

- a. The finished floor elevation shall be no less than (3) ft. and no more than (6) ft. above the exterior sidewalk elevation at the required building line.
- b. The first story shall have an interior clear height (floor to ceiling) of at least (9) ft. and a maximum floor to floor story height of (16) ft.

5. Upper Story Height

- a. The maximum floor-to-floor story height for stories other than the ground story is (12) ft.
- b. At least 80% of each upper story shall have an interior clear height (floor to ceiling) of at least (9) ft.

6. Mezzanines

Mezzanines having a floor area greater than 1/3 of the floor area of the story in which the mezzanine is situated shall be counted as full stories.

7. Street Wall Height

- a. A street wall not less than (4) ft. in height or greater than (6) ft. in height shall be required along any required building line frontage that is not otherwise occupied by the principal building on the lot.
- b. The height of the street wall shall be measured from the adjacent public sidewalk or, when not adjacent to a sidewalk, from the ground elevation once construction is complete.

8. Other

(Reserved)

9. Street Facade

- a. On each lot the building façade shall be built to the required Build-To-Layer for at least (80%) of the required building line length.
- b. The building façade shall be built to the Build-To-Layer (BTL) within (30) ft. of a block corner.
- c. These portions of the building façade (the required minimum build-to) may include jogs of not more than (18) inches in depth except as otherwise provided to allow bay windows, shopfronts, and balconies.

10. Buildable Area

- a. Buildings may occupy the portion of the lot specified by these building envelope standards.
- b. A contiguous open area equal to at least (5%) of the total buildable area shall be preserved on every lot. Such contiguous open area may be located anywhere behind the parking setback, at grade.
- c. No part of any building, except overhanging eaves, awnings, or balconies shall occupy the remaining lot area.

11. Side Lot Setbacks

The principal building shall be setback at least (5) ft. from the shared lot line, unless sharing a common wall with an adjacent building.

12. Garage and Parking

- a. Garage entries or driveways shall be located at least (75) ft. away from any block corner or another garage entry on the same block, unless otherwise designated on the Downtown Auburn/New Auburn Regulating Plan.
- b. Garage entries shall have a maximum clear height of (16) ft., and a maximum clear width of (24) ft.
- c. Vehicle parking areas on private property shall be located in the rear 50% of the building, except where parking is provided below grade.
- d. These requirements are not applicable to on-street parking.

13. Alleys

There is no required setback from alleys. On lots having no alley access, there shall be a minimum setback of (10) ft. from the rear lot line.

14. Corner Lots

Corner lots shall satisfy the code requirements for the full required building line length – unless otherwise specified in this code.

15. Un-built Required Building Line and Common Lot Line Treatment

- a. A street wall shall be required along any required building line frontage that is not otherwise occupied by a building. The street wall shall be located not more than (8) inches behind the required Build-To-Layer.
- b. Privacy fences may be constructed along that portion of a common lot line not otherwise occupied by a building.

16. Lot Widths

There shall be a minimum lot width of (18) ft., and a maximum lot width of (200) ft.

1. Windows and Doors

- a. Blank lengths of wall exceeding (20) linear feet are prohibited on all required building lines.
- b. Windows and Doors on the ground story facades shall comprise at least (60%), but not more than (90%), of the facade area (measured as a percentage of the facade between floor levels).
- c. Windows and Doors on the upper story facades shall comprise at least (20%), but no more than (60%), of the facade area per story (measured as a percentage of the facade between floor levels).

2. Building Projections

- a. Balconies and stoops shall not project closer than (5) ft. to a common lot line.
- b. No part of any building, except overhanging eaves, awnings, balconies, bay windows, stoops, and shopfronts as specified by the code, shall encroach beyond the Build-To-Layer.
- c. Awnings shall project a minimum of (4) ft. and a maximum of within (1) ft. of back of curb (where there are no street trees) or (1) ft. into the tree lawn (where there are street trees.)
- c. Awnings that project over the sidewalk portion of a street-space shall maintain a clear height of at least (10) ft. except as otherwise provided for signs, street lighting and similar appurtenances.
- d. Awnings may have supporting posts at their outer edge provided that they:
 - f. Have a minimum of (8) ft. clear width between the facade and the support posts or columns of the awnings.
 - g. Provide for a continuous public access easement at least (5) ft. wide running adjacent and parallel to the sidewalk cover columns/posts

3. Doors/Entries

Functioning entry door(s) shall be provided along ground story facades at intervals not greater than (60) linear ft.

4. Street Walls

A vehicle entry gate no wider than (18) ft. or a pedestrian entry gate no wider than (6) ft. shall be permitted within any required street wall.

5. Ground Story

The ground story shall house commerce or residential uses. See Height specifications above for specific requirements unique to each use.

6. Upper Stories

The upper stories shall house residential or commerce uses. No restaurant or retail sales uses shall be allowed in upper stories unless they are second story extensions equal to or less than the area of the ground story use. No commerce use is permitted above a residential use.

Additional habitable space is permitted within the roof where the roof is configured as an attic story.

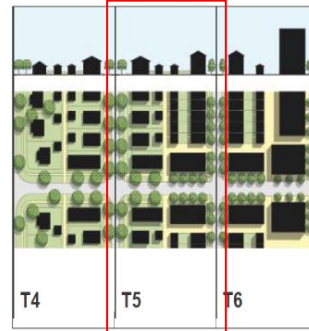
7. Permitted Uses

a. Residential uses shall be considered to encompass all of the Residential use categories, as defined in _____.

b. Commerce uses shall be considered to encompass all of the Commercial use categories, and all of the Civic use categories except passenger terminals and social service institutions, as defined in _____.

c. Use Standards as stated in Section _____ shall be applicable.

T5.2 Downtown Center



Allowed Frontage Types:

- Stoop
- Lightcourt
- Forecourt
- Shopfront
- Gallery

Allowed Building Types:

- Town House/Row House
- Live/Work Building
- Apartment House
- Commercial Block

Build-To-Layer: 0 ft. minimum, 10 ft. maximum front setback

1. Building Height

- The height of the principal building is measured in stories.
- Each principal building shall be at least (3) stories in height, but no greater than (6) stories in height, except as otherwise provided on the Downtown Auburn/New Auburn Regulating Plan.
- An attic story shall not count against the maximum story height.

2. Parking Structure Height

Where a parking structure is within (40) ft. of any principal building, that portion of the structure shall not exceed the primary building's eave or parapet height.

3. Ground Story Height: Commerce Uses

- The ground story finished floor elevation shall be equal to, or greater than the exterior sidewalk elevation in front of the building, to a maximum finished floor elevation of (18) inches above the sidewalk.
- The ground story shall have at least (12) ft. of clear interior height (floor to ceiling) contiguous to the required building line frontage for a minimum depth of at least (25) ft.
- The maximum story height for the ground story is (20) ft.

4. Ground Story Height: Residential Units

- The finished floor elevation shall be no less than (3) ft. and no more than (6) ft. above the exterior sidewalk elevation at the required building line.

b. The first story shall have an interior clear height (floor to ceiling) of at least (9) ft. and a maximum floor to floor story height of (16) ft.

5. Upper Story Height

- a. The maximum floor-to-floor story height for stories other than the ground story is (12) ft.
- b. At least 80% of each upper story shall have an interior clear height (floor to ceiling) of at least (9) ft.

6. Mezzanines

Mezzanines having a floor area greater than 1/3 of the floor area of the story in which the mezzanine is situated shall be counted as full stories.

7. Street Wall Height

- a. A street wall not less than (4) ft. in height or greater than (6) ft. in height shall be required along any required building line frontage that is not otherwise occupied by the principal building on the lot.
- b. The height of the street wall shall be measured from the adjacent public sidewalk or, when not adjacent to a sidewalk, from the ground elevation once construction is complete.

8. Other

(Reserved)

9. Street Facade

- a. On each lot the building façade shall be built to the required building line for at least 75% of the required building line length.
- b. The building façade shall be built to the Build-To-Layer (BTL) within (30) ft. of a block corner.
- c. These portions of the building façade (the required minimum build-to) may include jogs of not more than (18) inches in depth except as otherwise provided to allow bay windows, shopfronts, and balconies.

10. Buildable Area

- a. Buildings may occupy the portion of the lot specified by these building envelope standards.
- b. A contiguous open area equal to at least (5%) of the total buildable area shall be preserved on every lot. Such contiguous open area may be located anywhere behind the parking setback, at grade.
- c. No part of any building, except overhanging eaves, awnings, or balconies shall occupy the remaining lot area.

11. Side Lot Setbacks

The principal building shall be setback at least (5) ft. from the shared lot line, unless sharing a common wall with an adjacent building.

12. Garage and Parking

- a. Garage entries or driveways shall be located at least (75) ft. away from any block corner or another garage entry on the same block, unless otherwise designated on the Downtown Auburn/New Auburn Regulating Plan.
- b. Garage entries shall have a maximum clear height of (16) ft., and a maximum clear width of (24) ft.
- c. Vehicle parking areas on private property shall be located in the rear 50% of the building lot, except where parking is provided below grade.
- d. These requirements are not applicable to on-street parking.

13. Alleys

There is no required setback from alleys. On lots having no alley access, there shall be a minimum setback of (10) ft. from the rear lot line.

14. Corner Lots

Corner lots shall satisfy the code requirements for the full required building line length – unless otherwise specified in this code.

15. Un-built Required Building Line and Common Lot Line Treatment

- a. A street wall shall be required along any required building line frontage that is not otherwise occupied by a building. The street wall shall be located not more than (8) inches behind the required Build-To-Line.
- b. Privacy fences may be constructed along that portion of a common lot line not otherwise occupied by a building.

16. Lot Widths

There shall be a minimum lot width of (18) ft., and a maximum lot width of (200) ft.

1. Windows and Doors

- a. Blank lengths of wall exceeding (20) linear feet are prohibited on all required building lines.
- b. Windows and Doors on the ground story facades shall comprise at least (60%), but not more than (90%), of the facade area (measured as a percentage of the facade between floor levels).
- c. Windows and Doors on the upper story facades shall comprise at least (20%), but no more than (60%), of the facade area per story (measured as a percentage of the facade between floor levels).

2. Building Projections

- a. Balconies and stoops shall not project closer than (5) ft. to a common lot line.
- b. No part of any building, except overhanging eaves, awnings, balconies, bay windows, stoops, and shopfronts as specified by the code, shall encroach beyond the Build-To-Line.
- c. Awnings shall project a minimum of (4) ft. and a maximum of within (1) ft. of back of curb (where there are no street trees) or (1) ft. into the tree lawn (where there are street trees.)
- c. Awnings that project over the sidewalk portion of a street-space shall maintain a clear height of at least (10) ft. except as otherwise provided for signs, street lighting and similar appurtenances.
- d. Awnings may have supporting posts at their outer edge provided that they:
 - f. Have a minimum of (8) ft. clear width between the facade and the support posts or columns of the awnings.
- g. Provide for a continuous public access easement at least (5) ft. wide running adjacent and parallel to the sidewalk cover columns/posts

3. Doors/Entries

Functioning entry door(s) shall be provided along ground story facades at intervals not greater than (60) linear ft.

4. Street Walls

A vehicle entry gate no wider than (18) ft. or a pedestrian entry gate no wider than (6) ft. shall be permitted within any required street wall.

5. Ground Story

The ground story shall house commercial or residential uses. See Height specifications above for specific requirements unique to each use.

6. Upper Stories

The upper stories shall house residential or commercial uses. No restaurant or retail sales uses shall be allowed in upper stories unless they are second story extensions equal to or less than the area of the ground story use.

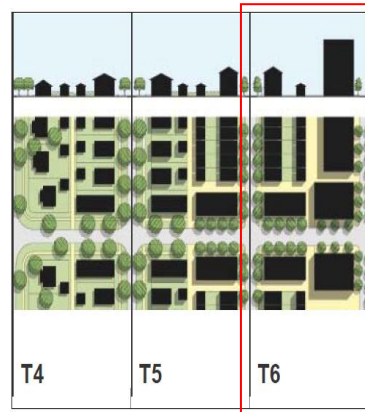
No commerce use is permitted above a residential use.

Additional habitable space is permitted within the roof where the roof is configured as an attic story.

7. Permitted Uses

- a. Residential uses shall be considered to encompass all of the Residential use categories, as defined in _____.
- b. Commerce uses shall be considered to encompass all of the Commercial use categories, and all of the Civic use categories except passenger terminals and social service institutions, as defined in _____.
- c. Use Standards as stated in Section _____ shall be applicable.

Great Falls Metro (GFM) T6



Allowed Frontage Types:

- Shopfront
- Forecourt
- Gallery

Allowed Building Types:

- Apartment House
- Commercial Block

Build-To-Layer: 0 ft. Minimum to 10 ft. Maximum Setback

1. Building Height: Core Area

- The height of the principal building is measured in stories.
- Each principal building shall be a minimum (6) stories in height, and a maximum (12) stories in height, except as otherwise provided on the Downtown Auburn/New Auburn Regulating Plan.
- An attic story shall not count against the maximum story height.

2. Building Height: Fringe Area

- The height of the principal building is measured in stories.
- Each principal building shall be a minimum (4) stories in height, and a maximum (8) stories in height, except as otherwise provided on the Downtown Auburn/New Auburn Regulating Plan.
- An attic story shall not count against the maximum story height.

3. Parking Structure Height

Where a parking structure is within 40 feet of any principal building, that portion of the structure shall not exceed the primary building's eave or parapet height.

4. Ground Story Height

- The ground story finished floor elevation shall be equal to, or greater than the exterior sidewalk elevation in front of the building, to a maximum finished floor elevation of (18) inches above the sidewalk.
- The ground story shall have at least (12) feet of clear interior height (floor to ceiling) contiguous to the required building line frontage for a minimum depth of at least (25) feet.
- The maximum story height for the ground story is (20) feet.

5. Upper Story Height

- a. The maximum floor-to-floor story height for stories other than the ground story is (12) feet.
- b. At least 80% of each upper story shall have an interior clear height (floor to ceiling) of at least 9 feet.

6. Mezzanines

Mezzanines having a floor area greater than 1/3 of the floor area of the story in which the mezzanine is situated shall be counted as full stories.

7. Street Wall Height

- a. A street wall not less than (4) feet in height or greater than (6) feet in height shall be required along any required building line frontage that is not otherwise occupied by the principal building on the lot.
- b. The height of the street wall shall be measured from the adjacent public sidewalk or, when not adjacent to a sidewalk, from the ground elevation once construction is complete.

8. Other

(Reserved)

9. Street Facade

- a. On each lot the building façade shall be built to the required Build-To-Layer for at least (80%) of the required building line length.
- b. The building façade shall be built to the required Build-To-Layer (BTL) within (30) feet of a block corner.
- c. These portions of the building façade (the required minimum build-to) may include jogs of not more than (18) inches in depth except as otherwise provided to allow bay windows, shopfronts, and balconies.

10. Buildable Area

- a. Buildings may occupy the portion of the lot specified by these building envelope standards.
- b. A contiguous open area equal to at least (5%) of the total buildable area shall be preserved on every lot. Such contiguous open area may be located anywhere behind the parking setback, at grade.
- c. No part of any building, except overhanging eaves, awnings, or balconies shall occupy the remaining lot area.

11. Side Lot Setbacks

The principal building shall be setback at least (5) feet from the shared lot line, unless sharing a common wall with an adjacent building.

12. Garage and Parking

- a. Garage entries or driveways shall be located at least (75) feet away from any block corner or another garage entry on the same block, unless otherwise designated on the Downtown Auburn/New Auburn Regulating Plan.
- b. Garage entries shall have a maximum clear height of (16) feet, and a maximum clear width of (24) feet.
- c. Vehicle parking areas on private property shall be located in the rear 50% of the building lot, except where parking is provided below grade.
- d. These requirements are not applicable to on-street parking.

13. Alleys

There is no required setback from alleys. On lots having no alley access, there shall be a minimum setback of (10) ft. from the rear lot line.

14. Corner Lots

Corner lots shall satisfy the code requirements for the full required building line length – unless otherwise specified in this code.

15. Un-built Required Building Layer and Common Lot Line Treatment

- a. A street wall shall be required along any Build-To-Layer frontage that is not otherwise occupied by a building. The street wall shall be located not more than (8) inches behind the Build-To-Layer.
- b. Privacy fences may be constructed along that portion of a common lot line not otherwise occupied by a building.

16. Lot Widths

There shall be a minimum lot width of (18) ft., and a maximum lot width of (300) ft.

1. Windows and Doors

- a. Blank lengths of wall exceeding (20) linear feet are prohibited on all required building lines.
- b. Windows and Doors on the ground story facades shall comprise at least (60%), but not more than (90%), of the facade area (measured as a percentage of the facade between floor levels).
- c. Windows and Doors on the upper story facades shall comprise at least (20%), but no more than (60%), of the facade area per story (measured as a percentage of the facade between floor levels).

2. Building Projections

- a. Balconies and stoops shall not project closer than (5) ft. to a common lot line.
- b. No part of any building, except overhanging eaves, awnings, balconies, bay windows, stoops, and shopfronts as specified by the code, shall encroach beyond the Build-To-Line (BTL).
- c. Awnings shall project a minimum of (4) ft. and a maximum of within (1) ft. of back of curb (where there are no street trees) or (1) ft. into the tree lawn (where there are street trees.)
- c. Awnings that project over the sidewalk portion of a street-space shall maintain a clear height of at least (10) ft. except as otherwise provided for signs, street lighting and similar appurtenances.
- d. Awnings may have supporting posts at their outer edge provided that they:
 - f. Have a minimum of (8) ft. clear width between the facade and the support posts or columns of the awnings.
 - g. Provide for a continuous public access easement at least (5) ft. wide running adjacent and parallel to the sidewalk cover columns/posts

3. Doors/Entries

Functioning entry door(s) shall be provided along ground story facades at intervals not greater than (60) linear ft.

4. Street Walls

A vehicle entry gate no wider than (18) ft., and/or a pedestrian entry gate no wider than (6) ft. shall be permitted within any required street wall.

5. Ground Story

The ground story shall house commercial or mercantile/retail uses.

6. Upper Stories

The upper stories shall house residential or commerce uses. No restaurant or retail sales uses shall be allowed in upper stories unless they are second story extensions equal to or less than the area of the ground story use. No commerce use is permitted above a residential use. Additional habitable space is permitted within the roof where the roof is configured as an attic story.

7. Permitted Uses

- a. Residential uses shall be considered to encompass all of the Residential use categories, as defined in _____.

b. Commerce uses shall be considered to encompass all of the Commercial use categories, and all of the Civic use categories except passenger terminals and social service institutions, as defined in _____.